

5382

5379/2021

[Page 1]



पश्चिमबङ्ग पश्चिम बंगाल WEST BENGAL

F 458616

A
7:30pm
18/09/21

Certified that the Endorsement Sheet's and the Signature Sheet's attached to this documents are part of the Document.

[Signature]
Additional District Sub-Registrar
Raniganj, Paschim Bardhamar

25 SEP 2021

Q.No - 2001792131/2021

GRN.No - 192021220080920411

DEVELOPMENT OR CONSTRUCTION AGREEMENT

THIS DEVELOPMENT AGREEMENT IS MADE ON THIS THE 18th DAY OF SEPTEMBER, 2021

BETWEEN

[Signature]
(Adv)

Sl. No. 3218 Date 06/9/21 Value 5000/-
Purchaser's Name N. N. Construction
Address Durgapur
Stamp Vender's Sign Ajoy Kumar Chand
AJOY KUMAR CHAND
STAMP VENDER
A. D. S. R. Office, Raniganj
Lic. No. 1 of 1989

BIBEK KUMAR KEDIA
Nationality Indian both are resident
District- Paschim Bardhaman
SATNALIKA [P.A.]
occ...

Purchased On 02 SEP 2021
From Assam Treasury

Bikash Kedia



790

Bikash Kedia



791

Bikash Kedia

BIKASH KEDIA HUF



792

Jaya Kedia



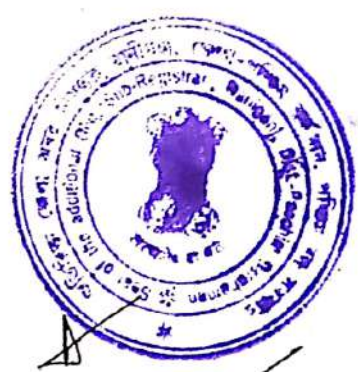
793

Jyoti Kedia



794

Bibek Kumar Kedia



Additional District Sirh-Registrar
Kanyatu, Paschim Bardhaman

18 SEP 2021

(1) **MR. BIBEK KUMAR KEDIA [PAN- AJQPK5169D]**, Son of Late Somdeo Kedia, by faith Hindu, by occupation Business, by nationality Indian, (2) **MRS. JYOTI KEDIA [PAN- CLGPK3510F]**, wife of Sri Bibek Kumar Kedia, by faith Hindu, by occupation Housewife, by nationality Indian both are resident of Andal Kabiraj Gali, Uttar Bazar, P.O.- Andal, P.S. Andal, District- Paschim Bardhaman, State- West Bengal, PIN- 713321, India, (3) **MR. NAWIN SATNALIKA [PAN- ANNPS2013B]**, Son of Late Parmeshwar Lal Satnalika, by faith Hindu, by occupation -Business, by nationality Indian both are resident of Sostigoria, P.O.- Raniganj, P.S. Raniganj, District- Paschim Bardhaman, State- West Bengal, PIN- 713347, India, (4) **MR. BIKASH KEDIA [PAN- ALOPK9824B]**, Son of Late Somdeo Kedia, by faith Hindu, by occupation Business, by nationality Indian, (5) **MRS. JAYA KEDIA [PAN- CLDPK0412Q]**, wife of Sri Bikash Kedia, by faith Hindu, by occupation Housewife, by nationality Indian both are resident of Andal Kabiraj Gali, Uttar Bazar, P.O.- Andal, P.S. Andal, District- Paschim Bardhaman, State- West Bengal, PIN- 713321, India,, (6) **BIKASH KEDIA (HUF) [PAN- AAJHB4163Q]**, represented by its Karta, **BIKASH KEDIA [PAN- ALOPK9824B]**, Son of Late Somdeo Kedia, by faith Hindu, by occupation Business, by nationality Indian resident of Andal Kabiraj Gali, North Bazar, P.O.- Andal, P.S. Andal, District- Paschim Bardhaman, State- West Bengal, PIN- 713321, India, (7) **BIBEK KEDIA (HUF) [PAN- AAJHB4675F]**, represented by its Karta, **MR. BIBEK KUMAR KEDIA [PAN- AJQPK5169D]**, Son of Late Somdeo Kedia, by faith Hindu, by occupation Business, by nationality Indian resident of North Bazar, P.O.- Andal, P.S. Andal, District- Paschim Bardhaman, State- West Bengal, PIN- 713321, India, (8) **PARMESHWAR LAL SATNALIKA (HUF) [PAN- AAGHP8213A]** represented by its Karta, **MR. NAWIN SATNALIKA [PAN- ANNPS2013B]** Son of Late Parmeshwar Lal Satnalika by faith Hindu, by occupation Business, by nationality Indian resident of Sostigoria, P.O.- Raniganj, P.S. Raniganj, District- Paschim Bardhaman, State- West Bengal, PIN- 713347, India (9) **MR. VIKASH SATNALIKA [PAN- ANNPS2009K]**, Son of Late Parmeshwar Lal Satnalika, by faith Hindu, by occupation -Business, by nationality Indian resident of 15, R.R. Road Bye Lane (Behind Sostigoria Park) , P.O.- Raniganj, P.S. Raniganj, District- Paschim Bardhaman, State- West Bengal, PIN- 713347, India hereinafter refereed to and called as "**LANDOWNER**" (which term and expression shall unless excluded by or repugnant to the subject or context be deemed to mean and include his respective heirs, representatives, executors, administrators, successors and assigns) of the **FIRST PART**

AND

N.N. CONSTRUCTION [PAN:- ADFPH3818M] (a Proprietorship firm) having its office at Balaka Park, Bidhannagar, Durgapur, pin:713206, Paschim Bardhaman represented by its **Proprietor MR. BIKRAM HAZRA [PAN: ADFPH3818M]** S/o Sri. Nirad Baran Hazra by faith Hindu, by occupation Business residing at OCD-2, North JN Avenue, P.O.- Amarabati, P.S. -New Township, PIN-713206, Dist- Paschim Bardhaman, the "**DEVELOPER**" (which terms or expression shall unless excluded by or repugnant to the context be deemed to mean and

include its successor-in-office legal representatives, administrators, executors and assigns) of the SECOND PART. *nationality - INDIAN,*

NOW THIS AGREEMENT WITNESSES, RECORDS, BINDS AND GOVERNS THE CONTRACTUAL RELATIONSHIP BETWEEN THE PARTIES AS FOLLOWS:

Subject Matter of Agreement

1. Development of multistoried building on scheduled Property: Terms and conditions agreed between the Owner and the Developer /Contractor with regard to development and construction of project at the scheduled premises in R.S. plot No. 1054 (L.R. Plot No. 1054) measuring area 59.05 decimal or 35.78 Katha; classification- Kanali, situated within Dist. Burdwan, Presently Paschim Bardhaman, under Andal Gram Panchyat , Police Station- Andal, A.D.S.R. office -Raniganj, Mouza-Bhadur; J.L.No.-42 (Scheduled / Said- Property).

2. Representations, Warranties and Background:

2.1. Owner's Representations: The Owner's have represented and warranted to the Developer as follows:

a) Ownership of Said Property:

Bibek Kumar Kedia & Jyoti Kedia both purchased schedule mentioned land measuring more or less 3.30 decimal vide deed No- 5946 for the year 2019 of A.D.S.R. Raniganj from Smt Mayarani Sadhu & others and recorded their name in L.R. R.O.R.

Sri Nawin Satnalika purchased schedule mentioned land measuring more or less 10 decimal vide deed No- 4219 for the year 2017 of A.D.S.R. Raniganj from Smt. Gouri Mondal & 01 decimal vide deed No- 4262 for the year 2017 of A.D.S.R. Raniganj from Smt. Gouri Mondal and recorded his name in L.R. R.O.R.

Bikash Kedia & Jaya Kedia both purchased schedule mentioned land measuring more or less 6.30 decimal vide deed No- 5933 for the year 2019 of A.D.S.R. Raniganj from Smt Mayarani Sadhu & others and recorded their name in L.R. R.O.R.

Bikash Kedia(HUF) purchased schedule mentioned land measuring more or less 10 decimal vide deed No- 4220 for the year 2017 of A.D.S.R. Raniganj from Smt Gouri Mondal and recorded his name in L.R. R.O.R.

Bibek Kumar Kedia(HUF) purchased schedule mentioned land measuring more or less 9 decimal vide deed No- 4287 for the year 2017 of A.D.S.R. Raniganj from Smt Gouri Mondal & Puja Dutta and recorded his name in L.R. R.O.R.

Parmeshwar Lal Satnalika
Parmeshwar Lal Satnalika (HUF) purchased schedule mentioned land measuring more or less 10 decimal vide deed No- 4286 for the year 2017 of A.D.S.R. Raniganj from Smt Gouri Mondal and recorded his name in L.R. R.O.R.

It is pertinent to mentioned that Karta of Parmeshwar Lal Satnalika (HUF), Mr. Parmeshwar Lal Satnalika died on 26.06.2021 and accordingly the elder son of Mr. Parmeshwar Lal Satnalika i.e. Nawin Satnalika become the karta of Parmeshwar Lal Satnalika (HUF),

Sri Vikash Satnalika purchased schedule mentioned land measuring more or less 9.45 decimal vide deed No- 5934 for the year 2019 of A.D.S.R. Raniganj from Smt Mayarani Sadhu & others and recorded his name in L.R. R.O.R.

b) Rights of Owners: The Owners are seized and possessed of and well and sufficiently entitled to the Said Property. Save as mentioned herein, no person other than the Owners has any manner of right, title, interest, claim or demand of any nature whatsoever in the Said Property or any part thereof and there are no outstanding claims or demands between the Owner and any third party and thus the entirety of the Said Property is free from all encumbrances, liens, mortgages, charges, Lis pendens, trusts, debutors, trespassers, occupants, encroachers, tenants, claims, demands, liabilities, attachments, requisitions, acquisitions and alignments of whatsoever or howsoever nature.

c) No Express or implied Mortgage: Neither the title deeds nor any other documents in respect of the Said Property or any part thereof have been deposited in favour of any party or person with the intention of creating an equitable mortgage or as security for performance of any act or payment of any money or otherwise.

d) No Previous Agreement: The Owner has not dealt with the Said Property in any manner nor created any right, title or interest therein in favour of any third party in any manner whatsoever or howsoever and have not entered into or been party to any agreement of any nature whatsoever including but not limited to agreement for sale, transfer, lease, development etc. in respect of the Said Property.

e) No Disputes Relating to Statutory Outgoings: The Said Property is free from any land charge and all statutory outgoings in respect thereof including land revenue, which have been paid in full by the Owner till the date of this Agreement.

f) No Covenants and Restrictions: The Said Property is not subject to any covenants, restrictions, stipulations, easements, rights of pre-emption, licenses, grants, exceptions or reservations or other such rights (whether legal or equitable) the benefit of which is vested in third parties nor is there any agreement to create the same.

g) Easements Unrestricted: No right or easement appurtenant to or benefiting the Said Property is restricted in any way, and such rights and easements are enjoyed freely without interruption and without restrictions as to hours of use or otherwise and no person or governmental authority has any right to terminate or curtail a right or easement appurtenant to or benefiting the Said Property.

h) No Boundary Dispute: The entirety of the Said Property is butted and bounded and there is no manner of boundary dispute in respect thereof.

i) No Legal Proceeding: (1) There is no legal, quasi-legal, administrative, arbitration, mediation, conciliation or other proceedings, claims, complaints, actions, governmental investigations, orders, judgments or decrees of any nature, initiated, made, existing, pending, threatened or anticipated in respect of the Said Property or the Owner, which may in any

manner prejudicially affect the due performance enforceability of this Agreement or any obligation, act, omission or transaction stated hereunder nor is there any threat of any such proceedings (2) there are no unfulfilled or unsatisfied judgment attachments, court orders, debts, notice in respect of the Said Property or the Owner (3) there is no order of any Court or any other statutory authority prohibiting development, sale, transfer and/or alienation of the Said Property and (4) there is no suit, action, litigation, investigation, claim, complaint, grievances or proceedings, appeals or applications for review, which are in process or pending against or relating to the Said Property or the Owner and, the Owner is not engaged, whether as plaintiff, or defendant or otherwise, in any litigation, criminal or arbitration proceedings, before any court, tribunal, statutory or governmental body, department, board or agency and no litigation, criminal or arbitration proceedings are pending by or against the Owner and there are no facts which are likely to give rise to the same or to proceedings in respect of which the Owner would be liable to indemnify any person concerned.

J) Status of Possession: Save as mentioned herein, the Said Property is and shall continue to be in the khas, vacant, peaceful, physical and absolute possession of the Owner and no third party or parties have or had or has ever claimed or acquired any manner of right, title or interest over or in respect of any part or portion of the Said Property, by way of adverse possession or otherwise.

k) Owner has Marketable Title: The Owner has good, free, clear, marketable, bankable and transferrable right, title and interest in the Said Property, free from all encumbrances of any and every nature whatsoever save as mentioned herein. The Owner shall at its own cost and responsibility keep its title in the Said Property good, free, clear, marketable, bankable and transferrable, till the completion of the Project.

2.2 Developer's Representations: The Developer has represented and warranted to the Owner as follows:

a) Infrastructure, Expertise and Financial Capacity of Developer: The Developer is carrying on business of civil construction and development of real estate and has necessary infrastructure and expertise in this field and the Developer has the necessary financial capacity to carry out the entire process of development / construction and at no point of time shall take plea that the Project cannot be carried out due to lack of financial capacity.

b) Developer has Authority: The Developer has full authority to enter into this Agreement and appropriate authorizations to that effect exist.

c) Decision to Develop / construct : The Owner decided to have the Said Property developed into Commercial cum residential complex and pursuant thereto discussions were held with the Developer for taking up the development and construction of plots and bungalow at the Said Property by constructing a cluster of ready-to-use residential plots and bungalow of mutually decided dimension and design, respectively, with car parking spaces, specified areas, amenities and facilities to be enjoyed in common and land (collectively Said Complex) and, purpose of monetary gain of the Said Complex for the benefit of the Parties hereto (such development and construction of plots and bungalow, collectively Project) by selling the

saleable spaces and amenities in the Said Complex (Units) to prospective buyers [collectively Transferees], which expression includes, without limitation or exception, all persons who agree to buy Units of plots and bungalow in the Said Complex .

d) Finalization of Terms Based on Reliance upon Representations: Pursuant to the above and relying on the representations made by the Parties to each other, final terms and conditions for the Project are being recorded by this Agreement.

3. Basic Understanding

a) Development of Said Property by Construction of Commercial cum Residential Complex: The Parties have mutually decided to take up the Project, i.e. the development of the Said Property by construction of the Said Complex thereon of the Said Complex on principal to principal basis, with (1) specified inputs and responsibility sharing by the Parties as mentioned herein and (2) exchange with each other of their specified inputs as mentioned herein.

b) Building Plans: The Said Complex shall be constructed in accordance with architectural plans (Building Plans) which will be got prepared by the Developer by such Architect as be decided by the Developer and the Developer shall submit the same to Panchayat and other statutory authorities concerned with sanction (collectively Planning Authorities) and obtain sanction/permission, in the manner mentioned in this Agreement.

c) Costs of Development / construction etc.: The Developers shall bear and pay all costs and expenses of and relating to construction of the Said Commercial cum residential Building and shall have absolute right and full authority to appoint sub-contractors, agents, sub-agents etc.

4. Appointment and Commencement

a) Appointment and Acceptance: The Parties hereby accept the Basic Understanding between them and the conditions precedent as recorded in Clause 3 above and all other terms and conditions concomitant thereto including those mentioned in this Agreement. Consequent thereto, the Owner hereby appoints the Developer as the Developer of the Said Property with right to execute the Project. The Developer hereby accepts the said appointment by the Owner.

b) Commencement and Tenure: This Agreement commences and shall be deemed to have commenced on and with effect from the date of sanctioning of plan and this agreement shall remain valid and in force until all obligations of the Parties towards each other stand fulfilled and performed.

5. Sanction and Construction

a) Survey and Measurement: Joint measurement of the land is already done by both the parties therefore neither of the parties shall raise any question regarding measurement of land in future.

b) Sanction of Building Plans: The Developer's Architect shall prepare the Building Plans. Thereafter, the Developer shall submit the Building Plans for sanction. In this regard it is clarified that (i) the Developer shall be responsible for obtaining all approvals needed for the

Project and (ii) all costs, charges, expenses, outgoings and fees for sanctions and clearances of the Building Plans shall be borne and paid by the Developer/ contractor.

c) Architect and Consultants: The Developer shall pay all costs, charges and expenses of the Architect and other consultants in connection with construction work of the Project including professional fees and supervision charges and the Owner shall have no liability or responsibility therefore. **d) Construction of Said Complex:** The Developer shall commence the construction work of the Said Complex after receiving all necessary approvals for commencement of construction. The Developer shall, at its own costs and expenses, construct, erect and complete the Said Complex in accordance with the sanctioned Building Plans. Such construction shall be as per specifications described in the 2nd Schedule below, common to all Units of the Said Complex (Specifications).

e) Completion Time: With regard to time of completion of the Project, it has been agreed between the Parties that the Developer shall construct, erect and complete Said Complex within a period of 36 (Thirty Six) months from the date of sanction of the Building Plans, with a grace period of 6 (six) months, subject to Force Majeure as defined in Clause 20 below (Completion Time). In this regard it is clarified that the Completion Time shall include submission of completion certificate but shall not include the time required for obtaining occupancy certificate from Panchyat — the Said Complex shall be deemed to be completed if completion certificate is submitted by the Architect or Panchyat.

f) Common Portions: The Developer shall, at its own costs, install and erect in the Said Complex the common areas, amenities and facilities such as stairways, passages, driveways, electric meter space, reservoir, overhead water tank, water pump and motor, drainage connection, sewerage connection and other facilities required for establishment, enjoyment, maintenance and management of the Said Complex etc. For permanent electric connection to the Units, the Transferees shall pay the deposits demanded by Durgapur Project Limited and/or other agencies. It is clarified that the expression Transferees includes the Owner and the Developer/ contractor, to the extent of unsold Units comprised in the Owner's Allocation and the Developer's/ contractor's Allocation. It is further clarified that the Developer alone shall be entitled to receive and appropriate from all the Transferees (including Transferees of the Owner's Allocation) (i) charges for electric equipment and cabling (ii) charges for generator, water connection and other amenities and facilities and (iii) charges for maintenance.

Durgapur Project Limited
g) Temporary Connections: The Developer shall be authorized in the name of the Owner to apply for and obtain at the costs of the Developer/ contractor, temporary connections of water, electricity, drainage and sewerage. It is however clarified that the Developer shall be entitled to use the existing electricity and water connection at the Said Property, upon payment of all usage and other applicable charges.

h) Modification: Any amendment or modification to the Building Plans may be made or caused to be made by the Developer.

i) Name of Said Complex: The Said Complex shall be named "NIRVANA GARDEN" and such name shall not be changed under any circumstances, except by the Developer.

j) Co-operation: Neither Party shall indulge in any activities that may be detrimental to the Project and/or may affect the mutual interest of the Parties. The Owner shall provide all cooperation that may be necessary for successful completion the Project.

6. Possession and Title Deeds

a) Possession of Said Property: For the purpose of carrying out the development in terms of this Agreement, the Owner has already inducted the Developer as a licensee in respect of scheduled / said property.

b) Deposit of Title Deeds: The Developer shall be entitled to take delivery of the said original title deeds and all link deeds from the Owners for production thereof before authorities, banks etc. and subject to the provisions of Clause 10(d) below, will have to return the same to the Owners. The said original title deeds and all linked deeds will not be mortgaged by the Developer in favour of any banks and/or financial institutions and/or any other persons, save and except as required for the purposes of the Project, in the manner mentioned in Clause 10(d) below. On completion of the Project, the Contractor / or Owner (as the case may be) shall handover the original title deeds and all linked deeds to the Association of Transferees of Units.

7. Powers and Authorities

a) Development Power of Attorney: The Owner shall grant to the Developer and/or its nominees a registered Development Power of Attorney relating to the Said Property comprised in the Developer's Allocation [defined in Clause 8 (a) & (b) below].

8. Owner's / Developer's Consideration

a) Owner's Allocation: The Developer shall at its own costs and expenses, construct, finish, complete and make available collectively to the Owner, in tenantable condition 30% of constructed area of the sanctioned plan in proposed building.

b) Developer's Allocation: The Developer shall be exclusively entitled to get 70% of constructed area of the sanctioned plan in proposed building along with undivided, impartible, indivisible and proportionate share in (i) the Common Portions and (ii) the land contained in the Said Property.

c) Refundable Security: shall mean Rs. 5,00,000 (Rupees five lacs only) shall be paid to the Owners as Security Deposit which will be adjusted later.

9. Financials

Finance: The Developer may arrange for financing of the Project (Project Finance) by a Bank/Financial Institution (Banker).

10. Dealing with Respective Allocations

a) Sale of Owner's Allocation: The Owner shall sell the Owner's Allocation through its own efforts and cost and appropriate the entire consideration from such sale

b) Sale of Developer's Allocation: The Developer shall sell the Developer's Allocation through its own efforts and cost and appropriate the entire consideration from such sale.

c) Transfer of Developer's Allocation: In consideration of the Developer constructing the Owner's Allocation, the Owner shall execute deeds of conveyance of the undivided share in the land contained in the Said Property and the Building Plans as be attributable to the Developer's Allocation in favour of the Transferees of the Developer's Allocation, in such part or parts as shall be required by the Developer. Such execution by the Owner shall be through the delegated authority given to the Developer by the Development Power of Attorney.

d) Transfer of Owner's Allocation: The Developer shall join the deeds of conveyance in favour of the Transferees of the Owner's Allocation and shall execute and register the same in its capacity as the confirming party. Such execution by the Developer shall be through the delegated authority given to the Owner by the Owner's Power of Attorney.

e) Cost of Transfer: The costs of such conveyances (both in respect of the Owner's Allocation and the Developer's Allocation) including stamp duty and registration fees and all legal fees and expenses incidental or related thereto shall be borne and paid by the respective Transferees.

f) Possession to Transferees: If at the end of the Project, there are any unsold Units in the Owner's Allocation, then the Developer shall handover the same to the Owner, complete in all respect and charges after receiving payment for water connection and other amenities and facilities. In this regard it is clarified that upon completion of the Project, the Developer shall give 15 (fifteen) days' notice to the Owner for taking possession and thereafter the Developer will be free to deliver possession and register conveyances of the Developer's Allocation, irrespective of possession being taken by the Owner.

11. Panchyat Taxes and Outgoings

a) Relating to Period Prior to Agreement: All Panchayat taxes, land revenue and outgoings (collectively Rates) on the Said Property relating to the period till the date of this Agreement shall be borne, paid and discharged by the Owner. It is made specifically clear that all Rates outstanding upto such date shall remain the liability of the Owner and such dues shall be borne and paid by the Owner as and when called upon by any statutory authority.

b) Relating to Period After Agreement: All Rates on the Said Property relating to the period after the date of this Agreement shall be borne, paid and discharged by the Developer. It is made specifically clear that all Rates outstanding after such date shall remain the liability of the Developer and such dues shall be borne and paid by the Developer, till the Project is completed.

c) Relating to Period After Completion of Project: After completion of the Project, the Parties shall bear and pay the Rates applicable to the unsold portions of their respective allocations while the Transferees shall pay the Rates applicable to their respective Units.

12. Post Completion Maintenance

a) Maintenance: The Developer shall frame a scheme for the management and administration of the Said Complex and/or Common Portions thereof.

b) Maintenance Charge: As and from the date possession of various phases of the Said Complex is delivered (Possession Date), the concerned Transferees and the Owner and the Developer (in respect of unsold Units allocated to them) shall become responsible for payment of all charges and taxes thereon for maintenance and upkeep of the Common Portions and facilities in the Said Complex. The Maintenance Charge shall be fixed by the Developer and till such maintenance is handed over to a Society/Association and/or any other organization, the Developer shall collect the Maintenance Charge.

13. Common Restrictions

a) Applicable to Both: The Owner's Allocation and the Developer's Allocation in the Said Complex shall be subject to the same restrictions as are applicable to ownership buildings, intended for common benefit of all occupiers of the Said Complex.

14. Obligations of Developer

a) Completion of Development within Completion Time: The Developer shall complete the entire process of development of the Said Property within the Completion Time unless extended in writing.

b) Meaning of Completion: The word 'completion' and its grammatical variants shall mean habitable and tenantable state with adequate water supply, sewage connection, electrical installation and all other facilities and amenities as be required to be provided to make the Units ready-for-use and occupation

c) Compliance with Laws: The execution of the Project shall be in conformity with the prevailing laws, rules and bye-laws of all concerned authorities and State Government/Central Government bodies and it shall be the absolute responsibility of the Developer to ensure proper compliance.

d) Construction at Developer's Risk and Cost: The Developer shall construct the Said Complex at its own cost, risk and responsibility, by adhering to the Building Plans and all applicable laws and attending to all notices issued by concerned authorities. The Developer shall alone be responsible and liable to Government, Corporation and other authorities concerned and to the occupants/Transferees and to the third parties and the public in general and shall alone be liable for any loss, damage or compensation or for any claim arising from or relating to such construction and shall indemnify the Owner fully against any claims, losses and damages for any default, failure, breach, act, omission or neglect on the part of the Developer and/or any contractor, entity, body, agency and/or person appointed or designated by the Developer and/or any employees/agents/representatives thereof.

15. Obligations of Owner

a) Co-operation with Developer: The Owner undertakes to fully co-operate with the Developer for obtaining all permissions required for development of the Said Property.

b) Marketing of Owner's Allocation: The Owner shall be responsible for marketing of the Owner's Allocation.

c) Development Cost:- The Owner shall be under obligation to pay Development Cost to the Developer for Owners allocation , Development cost mean and include (i) charges for electric equipment and cabling (ii) charges for generator, water connection and other amenities and facilities and (iii) charges for maintenance.

16. Indemnity

a) By Developer: The Developer hereby indemnifies and agrees to keep the Owner saved harmless and indemnified of from and against any and all loss, damage or liability (whether criminal or civil) suffered by the Owner in relation to the Project and/or to the development and/or to the construction of the Said Complex and/or defect therein and those resulting from breach of this Agreement by the Developer, including any act of neglect or default of the Developer's consultants, employees and/or the Transferees and any breach resulting in any successful claim by any third party or violation of any permission, rules, regulations or by-laws or arising out of any accident or otherwise.

b) By Owner: The Owner hereby indemnifies and agrees to keep the Developer saved harmless and indemnified of from and against any and all actions, suits, costs, proceedings and claims that the Developer may suffer due to any defect in title of the Owner to the Said Property and/or any encumbrance or liability whatsoever thereon.

17. Limitation of Liability

a) No Indirect Loss: Notwithstanding anything to the contrary herein, neither the Developer nor the Owner shall be liable in any circumstances whatsoever to each other for any indirect loss suffered or incurred.

18. Miscellaneous

a) Further Acts: The Parties shall do all further acts, deeds and things as may be necessary to give complete and meaningful effect to this Agreement.

19. Termination

a) Circumstances of Termination: In the event sanction of the Building Plans and all other permissions, consents, clearances, registrations and no objections required for commencement of construction not being granted for any reason whatsoever, this Agreement shall stand terminated at the option of the Developer without claiming any cost and expenses from landowner.

b) No Termination: Except as mentioned above, none of the Parties shall be entitled to cancel or rescind this Agreement without recourse to arbitration. In the event of any default on the part of either Party, the other Party shall be entitled to claim specific performance of this Agreement and also for damages and the Parties agree that the Arbitration Tribunal shall be empowered to award specific performance or cancellation of this Agreement and additionally also to award ° damages and other such reliefs.

M. C. ...
(2021)

20. Force Majeure

a) Meaning of Force Majeure: The Parties shall not be held responsible for any consequences or liabilities under this Agreement if the Parties are prevented in meeting the obligations under this Agreement by reason of contingencies caused by neither of the Parties and unforeseen occurrences such as (1) acts of God (2) acts of nature (3) acts of war (4) fire (5) insurrection (6) terrorist action (7) civil unrest (8) riots (9) non availability or reduced availability of building materials and strike by material suppliers, transporters, contractors, workers and employees (10) delay on account of receiving statutory permissions (11) delay in the grant of electricity, water, sewerage and drainage connection or any other permission or sanction by the Government or any statutory authority (12) any notice, order of injunction, litigation, attachments, etc. and (13) any rule or notification of the Government or any other public authority or any act of Government such as change in legislation or enactment of new law, restrictive Governmental laws or regulations (collectively Force Majeure).

b) Saving Due to Force Majeure: If either Party is delayed in or prevented from performing any of its obligations under this Agreement by any event of Force Majeure, such Party shall be deemed not to have defaulted in the performance of its contractual obligations whilst the performance thereof is prevented by Force Majeure and the time limits laid down in this Agreement for the performance of such obligations shall be extended accordingly.

21. Amendment/Modification

a) Express Documentation: No amendment or modification of this Agreement or any part hereof shall be valid and effective unless it is by an instrument in writing executed by both the Parties and expressly referring to the relevant provision of this Agreement.

b) Express declaration: By virtue of this agreement landowners shall not transfer any right title and interest in favour of the Developer:

22. Arbitration

Disputes and Pre-referral Efforts: The Parties shall attempt to settle any disputes or differences in relation to or arising out of or touching this Agreement or the validity, interpretation, construction, performance, breach or enforceability of this Agreement between the Owner and the Developer (collectively Disputes), by way of negotiation. To this end, each of the Parties shall use its reasonable endeavors to consult or negotiate with the other Party in good faith and in recognizing the Parties' mutual interests and attempt to reach a just and equitable settlement satisfactory to both Parties.

a) Referral to Arbitration: If the Parties have not settled the Disputes by negotiation within 30 (thirty) days from the date on which negotiations are initiated, the Disputes shall be referred to and finally resolved by arbitration by an Arbitration Tribunal formed in the manner given below, in terms of the Arbitration and Conciliation Act, 1996.

b) Arbitration Tribunal: The Parties irrevocably agree that the Arbitration Tribunal shall consist of the following Two Arbitrators:

c) Appointment by Owner: 1 (one) Arbitrator to be appointed by the Owner.

d) Appointment by Developer: 1 (one) Arbitrator to be appointed by the Developer.

e) Conduct of Arbitration Proceeding: The Parties irrevocably agree that:-

i) Place: The place of arbitration shall be Durgapur.

ii) Procedure: The Arbitration Tribunal shall be entitled to avoid all rules relating to procedure and evidence as are expressly avoidable under the law. The arbitration shall otherwise be carried out in terms of and in accordance with the Arbitration and Conciliation Act, 1996 with modifications made from time to time and the provisions of the said act shall apply to the arbitration proceedings.

iii) Binding Nature: The directions and interim/final award of the Arbitration Tribunal shall be binding on the Parties.

**FIRST SCHEDULE
(Said Property)**

All that piece and parcel of Kanali Land measuring 59.05 decimal or 35.78 Katha, more or less situate, lying at and being **Mouza- Bhadur**, J.L.No-42, within Andal Gram Panchyat, A.D.S.R. Office- Raniganj District Burdwan presently Paschim Bardhaman

R.S. Plot	L.R. Plot	Area in Decimal	L.R. Khatian
1054	1054	2.00	2616
1054	1054	1.30	2617
1054	1054	11.00	2489
1054	1054	3.00	2620
1054	1054	3.30	2619
1054	1054	10.00	2762
1054	1054	09.00	2763
1054	1054	10.00	2490
1054	1054	9.45	2618

Entire land is butted and bounded as follows:-

ON THE NORTH : 220 Ft. wide G. T. Road. **ON THE SOUTH** : Vacant Land, **ON THE EAST** :
Plot No - 1054, **ON THE WEST** :Kath Gola.

It is hereby declared that the full name, colour passport size photograph and finger prints of each finger of both hands of Vendor/representative of Developer are attested in additional pages in this deed being no. (1) (A), (1) (B), i.e. in total numbers of pages and these will be treated as part of this deed.

IN WITNESS WHEREOF the parties hereto have executed these presents on the day, month and year first above written.

SIGNED AND DELIVERED by the OWNERS /FIRST PART and DEVELOPER/SECOND PART at Raniganj in the presence of:

WITNESSES:

Debandan Chattarjee
S/o - Narayan Chattarjee
Gopal math Sujana Plot
Near - Paschim Banga Housing Bask.
Durgapur.
PIN - 713217

Pinku Mondal
Andal More
Sopps - Andal.
713321

Bikash Kedia
Kumar
Bibek Kedia
Jyoti Kedia

Jaya Kedia
Bibek Kumar Kedia
BIBEK KEDIA HUF

Ji Kedia

Nawin Satnalika

PARMESHVAR LAL SATNALIKA (HUF)

Nawin Satnalika
KARTA

Bikash Kedia
BIKASH KEDIA HUF

N. N. Construction

Sirnam Harna
Proprietor

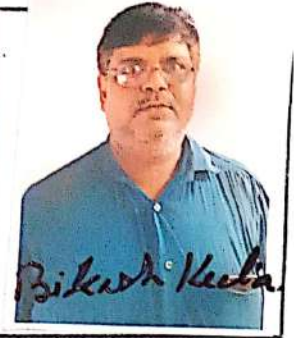
Drafted and Typed by me & I have read over & Explained in Mother languages to all parties to this deed and all of them admit that the same has been correctly written as per their instruction.

Md. Mansoor Alam
(Adv)
Asst Court

EN. F- 1043/1614/01

হস্তাঙ্গুলীর টিপ ছাপ ও ফটো/Fingers Print & Photo

বাম হাত Left Hand					
	বৃহদঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger
ডান হাত Right Hand					



উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর
Signature *Bikash Kedia*











বাম হাত Left Hand					
	বৃহদঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger
ডান হাত Right Hand					



উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর
Signature *Bibek Kumar Kedia*











বাম হাত Left Hand					
	বৃহদঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger
ডান হাত Right Hand					



উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর
Signature *Jaya Kedia*

বাম হাত Left Hand					
	বৃহদঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger
ডান হাত Right Hand					




উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর
Signature *Syoti Kedia*

হস্তাঙ্গুলীর টিপ ছাপ ও ফটো/Fingers Print & Photo


বাম হাত Left Hand						 Nawin Satrika
	বৃদ্ধাঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger	
ডান হাত Right Hand						

উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর

Signature Nawin Satrika


বাম হাত Left Hand						 Hika
	বৃদ্ধাঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger	
ডান হাত Right Hand						

উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর

Signature Hika

বাম হাত Left Hand						 William Horra
	বৃদ্ধাঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger	
ডান হাত Right Hand						

উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর

Signature William Horra

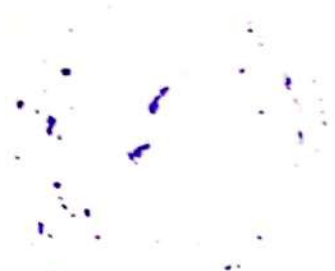
বাম হাত Left Hand						ফটো
	বৃদ্ধাঙ্গুল Thums	তর্জনী 1st Finger	মধ্যমা Middle	অনামিকা Ring	কনিষ্ঠা Small Finger	
ডান হাত Right Hand						

উপরের ছবি ও টিপগুলি আমার দ্বারা প্রত্যায়িত হইল।

Pass port size photograph & Finger print of both hands attested by me

স্বাক্ষর

Signature _____




Bibek Kedia



 Jyoti Kedia
 Jyoti Kedia
 पति : बिबेक कर्दिया
 Husband : Bibek KEDIA
 जन्मदिन/DOB: 01/02/1980
 महिला / Female

3224 8012 0188

आधार - साधारण मानुषेर अधिकार



 आधार
 Authority of India
 डिगना, नर्थ बाजार, अंडाल
 दिगना (दिगि), अंडाल, बर्धमान -
 पश्चिमबंग,
 Address: NORTH BAZAR,
 ANDAL, Dignala (CT), Andal,
 Barddhaman, West Bengal,
 713321
3224 8012 0188
 1947
 1800 300 1947
 help@uidai.gov.in
 www.uidai.gov.in

Jyoti Kedia

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

JYOTI KEDIA
SAJJAN AGARWAL

02/02/1977
Permanent Account Number

CLGPK3501F

Jyoti Kedia
Signature

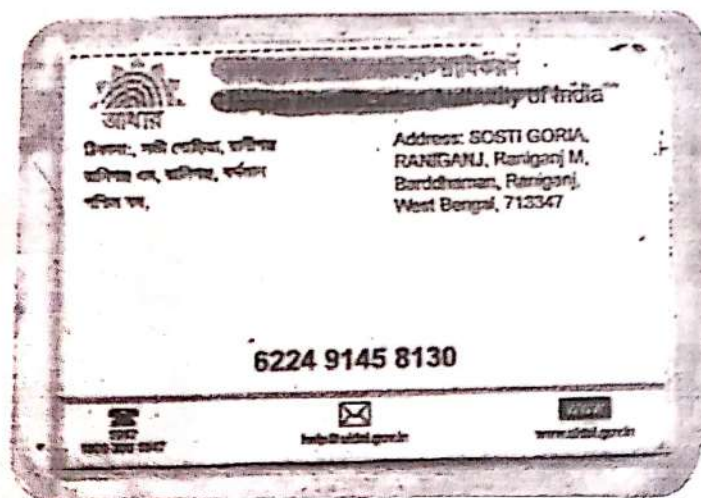


15032012

Jyoti Kedia



Nawin Satnalika



आयकर विभाग
INCOME TAX DEPARTMENT
NAWIN SATNALIKA
PARMESHWAR LAL SATNALIKA

भारत सरकार
GOVT. OF INDIA

30/09/1971
Permanent Account Number
ANNPS2013B

Nawin Satnalika
Signature



Nawin Satnalika



ভারত সরকার
Unique Identification Authority of India
Government of India

তালিকাভুক্তির নম্বর/ Enrolment No.: 2189/68977/56846

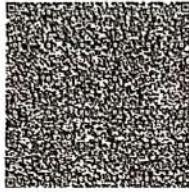
To
বিকশ কেডিয়া
Bikash Kedia
S/O Somdeo Kedia
North Bazar
Kabiraj Gali
Ondal
Andal
Bardhaman West Bengal - 713321
9333107483

Download Date: 20/06/2017

Generation Date: 12/06/2017

Validity: unknown

Unique Identification
Authority of India
Date: 20/06/2017 12:30:10
IST



QR Code with Photograph

আপনার আধার সংখ্যা / Your Aadhaar No. :

2661 0400 1660

VID : 9151 0580 1574 8071

আমার আধার, আমার পরিচয়



ভারত সরকার
Government of India



বিকশ কেডিয়া
Bikash Kedia
জন্মতারিখ/DOB: 30/06/1974
পুরুষ/ MALE

2661 0400 1660

VID : 9151 0580 1574 8071

আমার আধার, আমার পরিচয়



Government of India

AADHAAR

তথ্য

- আধার পরিচয়ের প্রমাণ, নাগরিকত্বের প্রমাণ নয়
- পরিচয়ের প্রমাণ অনলাইন অথেন্টিকেশন দ্বারা লাভ করুন
- এটা এক ইলেক্ট্রনিক প্রক্রিয়াজাত তথ্য পত্র

INFORMATION

- Aadhaar is a proof of identity, not of citizenship.
- To establish identity, authenticate online.
- This is electronically generated letter.

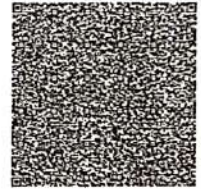
- আধার সারা দেশে মান্য।
- আধার ভবিষ্যতে সরকারী ও বেসরকারী পরিষেবা প্রাপ্তির সহায়ক হবে।
- Aadhaar is valid throughout the country .
- Aadhaar will be helpful in availing Government and Non-Government services in future .



ভারত সরকার
Unique Identification Authority of India

ঠিকানা:
S/O সমদেও কেডিয়া, নর্থ বাজার, কাবিরাজ গালি,
অন্ডাল, বর্ধমান,
পশ্চিম বঙ্গ - 713321

Address:
S/O Somdeo Kedia, North Bazar, Kabiraj
Gali, Ondal, Bardhaman,
West Bengal - 713321



QR Code with Photograph

2661 0400 1660

VID : 9151 0580 1574 8071

www.aadhaar.gov.in

Bikash Kedia



आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

BIKASH KEDIA
SOMDEO KEDIA
30/06/1974
Permanent Account Number
ALOPK9824B

Signature

53880
447
-0TH1290

Bikash Kedia



ভারত সরকার
Unique Identification Authority of India
Government of India

ভনিকাভুক্তির আই ডি / Enrollment No.: 2189/68977/56844

To
জয়া কাঁদিয়া
JAYA KEDIA
W/O Bikash Kedia
Kabiraj Gali North Bazar
Ondal
Andal
Ondal Barddhaman
West Bengal 713321
8388893631

14/09/2013
80876101



MD808761013FH



আপনার আধার সংখ্যা / Your Aadhaar No. :

8711 3095 7347

আমার আধার, আমার পরিচয়



ভারত সরকার
Government of India



জয়া কাঁদিয়া
JAYA KEDIA
পিতা : শ্যামসুন্দর রায়
Father : SHYAMSUNDAR BHARTI
জন্মতারিখ / DOB : 01/01/1985
মহিলা / Female



8711 3095 7347

আমার আধার, আমার পরিচয়

Jaya Kedia



आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT. OF INDIA

JAYA KEDIA
SHYAM SUNDER BHARTI

01/01/1985
Permanent Account Number
CLDPK0412Q

Jaya Kedia
Signature



07032012

Jaya Kedia





Bikash Kedia
BIKASH KEDIA HUF



Bibek Kedia
BIBEK KEDIA HUF



PARMESHWAR LAL SATNALIKA (HUF)
Nawin Satnalika
KARTA

भारत सरकार
GOVERNMENT OF INDIA

Vikash Satnalika
Year of Birth : 1974
Male

4206 5196 9008

आधार -- आम आदमी का अधिकार

Vikash

भारतीय विशिष्ट पहचान प्राधिकरण
UNIQUE IDENTIFICATION AUTHORITY OF INDIA

Address:
S/O Parmeshwar Lal Satnalika, 15, R. R.
Road Bye Lane, Behind Sosti Gorla Park,
Raniganj, Raniganj, Bardhaman, West
Bengal, 713347

1947
1800 180 1947

होमिनिडि.गव.भ
www.uidai.gov.in

P.O. Box No 1947,
Bengaluru 560 001

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT OF INDIA

स्थायी लेखा संख्या कार्ड
Permanent Account Number Card

ANNPS2009K

नाम / Name
VIKASH SATNALIKA

पिता का नाम / Father's Name
PARMESHWARLAL SATNALIKA

जन्म की तारीख /
Date of Birth
02/07/1974

हस्ताक्षर / Signature



00079019

Vikash



भारतीय विशिष्ट पहचान प्राधिकरण

भारत सरकार
Unique Identification Authority of India
Government of India

Enrollment No.: 1058/12463/14029



To
Debnandan Chatterjee
SUJARA PLOT GOPALMATH
DURGAPUR17
Durgapur (m Corp.)
Oyaria
Barddhaman Barddhaman
West Bengal 713217
9475745747

156870804
23/07/2014



ML568706047FT



आपका आधार क्रमांक / Your Aadhaar No. :

7739 7532 6981

आधार - आम आदमी का अधिकार



भारत सरकार

Government of India



Debnandan Chatterjee
Father : NARAYAN CHATTERJEE
DOB : 07/05/1983
Male



7739 7532 6981

आधार - आम आदमी का अधिकार

Debnandan Chatterjee





भारत सरकार



आधार

भारत सरकार
Government of India

भारतीय विशिष्ट पहचान प्राधिकरण
Unique Identification Authority of India

Enrollment No. : 0655/04501/19326

To
Bikram Hazra

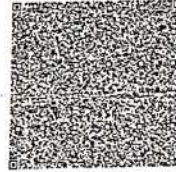
19/10/2014

OCD-2,
J N AVENUE,
VTC: Durgapur (m Corp.), PO: Durgapur CRPF Camp,
Sub District: Barddhaman, District: Barddhaman,
State: West Bengal, PIN Code: 713214.
Mobile: 8170017961

07421382



KF074213820FI



आपका आधार क्रमांक / Your Aadhaar No. :

4655 4058 7055

मेरा आधार, मेरी पहचान



भारत सरकार
Government of India



आधार



Bikram Hazra
DOB: 01/06/1984
Male

19/10/2014

4655 4058 7055

मेरा आधार, मेरी पहचान

Bikram Hazra



आयकर विभाग
INCOME TAX DEPARTMENT
BIKRAM HAZRA
NIRAD BARAN HAZRA
01/06/1984
Permanent Account Number
ADFPH3818M
Signature
भारत सरकार
GOVT. OF INDIA



BIKRAM HAZRA



Government of West Bengal
Directorate of Registration & Stamp Revenue

FORM-1564

Miscellaneous Receipt

Visit Commission Case No / Year	2304000492/2021	Date of Application	18/09/2021
Query No / Year	23042001792131/2021		
Transaction	[0110] Sale, Development Agreement or Construction agreement		
Applicant Name of QueryNo	Mr P Mondal		
Stampduty Payable	Rs.20,011/-		
Registration Fees Payable	Rs.5,014/-		
Applicant Name of the Visit Commission	Mr Pinku Mondal		
Applicant Address	Andalmore p.s Andal		
Place of Commission	ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321		
Expected Date and Time of Commission	18/09/2021 6:10 PM		
Fee Details	J1: 250/-, J2: 240/-, PTA-J(2): 60/-, Total Fees Paid: 550/-		
Remarks			









Government of West Bengal

Department of Finance (Revenue) , Directorate of Registration and Stamp Revenue







OFFICE OF THE A.D.S.R. RANIGANJ, District Name :Paschim Bardhaman

Signature / LTI Sheet of Query No/Year 23042001792131/2021







I. Signature of the Person(s) admitting the Execution at Private Residence.

SI No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
1	Mr BIBEK KUMAR KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Land Lord			<i>Bibek Kumar Kedia</i> 18/09/21
2	Mrs JYOTI KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:- Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Land Lord			<i>Jyoti Kedia</i> 18/9/21
3	Mr NAWIN SATNALIKA SOSTIGORIA, City:- Raniganj, , P.O:- RANIGANJ, P.S:- Raniganj, District:- Paschim Bardhaman, West Bengal, India, PIN:- 713347	Land Lord			<i>Nawin Satnalika</i> 18/9/21





I. Signature of the Person(s) admitting the Execution at Private Residence.

SI No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
4	Mr BIKASH KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:- Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Land Lord			<i>Biakash Kedia</i> 18-9-21
5	Mrs JAYA KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:- Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Land Lord			<i>Jaya Kedia</i> 18.9.2021
6	Mr VIKASH SATNALIKA 15, R.R. ROAD BYE LANE, BEHIND SOSTIGORIA PARK, City:- Raniganj, , P.O:- RANIGANJ, P.S:- Raniganj, District:- Paschim Bardhaman, West Bengal, India, PIN:- 713347	Land Lord			<i>Vikash</i> 18/09/21

I. Signature of the Person(s) admitting the Execution at Private Residence.

Sl No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
7	Mr BIKASH KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:- Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Represent ative of Land Lord [BIKASH KEDIA]			<i>Bikash Kedia</i> BIKASH KEDIA HUF 18/09/21
8	Mr BIBEK KUMAR KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321	Represent ative of Land Lord [BIBEK KEDIA]			<i>Bibek Kumar Kedia</i> BIBEK KEDIA HUF 18/09/21
9	Mr NAWIN SATNALIKA SASTIGORIA, City:- Raniganj, , P.O:- RANIGANJ, P.S:- Raniganj, District:- Paschim Bardhaman, West Bengal, India, PIN:- 713347	Represent ative of Land Lord [PARMES HWAR LAL SATNALI KA]			PARMESHWAR LAL SATNALIKA (HUF) <i>Nawin Satnalika</i> KARTA

I. Signature of the Person(s) admitting the Execution at Private Residence.

No.	Name of the Executant	Category	Photo	Finger Print	Signature with date
10	Mr BIKRAM HAZRA OCD-2, NORTH JN AVENUE, City:- , P.O:- AMRABATI, P.S:-New Township, District:- Paschim Bardhaman, West Bengal, India, PIN:- 713206	Represent ative of Developer [N N CONSTR UCTION]			N. N. Construction 18/09/21 Proprietor
SI No.	Name and Address of identifier	Identifier of	Photo	Finger Print	Signature with date
1	Mr Debnandan Chatterjee Son of Narayan Chatterjee Gopalmath, City:- , P.O:- Gopalmath, P.S:-Durgapur, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713217	Mr BIBEK KUMAR KEDIA, Mrs JYOTI KEDIA, Mr NAWIN SATNALIKA, Mr BIKASH KEDIA, Mrs JAYA KEDIA, Mr VIKASH SATNALIKA, Mr BIKASH KEDIA, Mr BIBEK KUMAR KEDIA, Mr NAWIN SATNALIKA, Mr BIKRAM HAZRA			Debnandan Chatterjee 18/09/21



(AVIJIT SIKDAR)
ADDITIONAL DISTRICT
SUB-REGISTRAR
OFFICE OF THE A.D.S.R.
RANIGANJ
Paschim Bardhaman, West
Bengal

Major Information of the Deed

No :	I-2304-05379/2021	Date of Registration	25/09/2021
Query No / Year	2304-2001792131/2021	Office where deed is registered	
Query Date	14/09/2021 12:09:12 AM	2304-2001792131/2021	
Applicant Name, Address & Other Details	P Mondal Andal, Thana : Andal, District : Paschim Bardhaman, WEST BENGAL, Mobile No. : 9932443435, Status : Seller/Executant		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4308] Other than Immovable Property, Agreement [No of Agreement : 1], [4311] Other than Immovable Property, Receipt [Rs : 5,00,000/-]		
Set Forth value	Market Value		
Rs. 9/-	Rs. 1,45,57,133/-		
Stampduty Paid(SD)	Registration Fee Paid		
Rs. 20,011/- (Article:48(g))	Rs. 5,014/- (Article:E, E, B)		
Remarks			

Land Details :

District: Paschim Bardhaman, P.S:- Andal, Gram Panchayat: ANDAL, Mouza: Bhadur, JI No: 42, Pin Code : 713321

Sch No	Plot Number	Khatian Number	Land Use Proposed	Use ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	LR-1054 (RS :-1054)	LR-2616	Vastu	Kanali	2 Dec	1/-	4,93,044/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L2	LR-1054 (RS :-1054)	LR-2617	Vastu	Kanali	1.3 Dec	1/-	3,20,479/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L3	LR-1054 (RS :-1054)	LR-2489	Vastu	Kanali	11 Dec	1/-	27,11,744/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L4	LR-1054 (RS :-1054)	LR-2620	Vastu	Kanali	3 Dec	1/-	7,39,566/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L5	LR-1054 (RS :-1054)	LR-2619	Vastu	Kanali	3.3 Dec	1/-	8,13,523/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L6	LR-1054 (RS :-1054)	LR-2762	Vastu	Kanali	10 Dec	1/-	24,65,222/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
L7	LR-1054 (RS :-1054)	LR-2763	Vastu	Kanali	9 Dec	1/-	22,18,699/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,

LR-1054 (RS :-1054)	LR-2490	Vastu	Kanali	10 Dec	1/-	24,65,222/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
LR-1054 (RS :-1054)	LR-2618	Vastu	Kanali	9.45 Dec	1/-	23,29,634/-	Width of Approach Road: 220 Ft., Adjacent to Metal Road,
TOTAL :				59.05Dec	9 /-	145,57,133 /-	
Grand Total :				59.05Dec	9 /-	145,57,133 /-	

Land Lord Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	<p>Mr BIBEK KUMAR KEDIA Son of Late SOMDEO KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: AJxxxxx9D, Aadhaar No: 75xxxxxxxx5838, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence</p>
2	<p>Mrs JYOTI KEDIA Wife of Mr BIBEK KUMAR KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: CLxxxxx0F, Aadhaar No: 32xxxxxxxx0188, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence</p>
3	<p>Mr NAWIN SATNALIKA Son of Late PARMESHWAR LAL SATNALIKA SOSTIGORIA, City:- Raniganj, P.O:- RANIGANJ, P.S:-Raniganj, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713347 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ANxxxxx3B, Aadhaar No: 62xxxxxxxx8130, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence</p>
4	<p>Mr BIKASH KEDIA (Presentant) Son of Late SOMDEO KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ALxxxxx4B, Aadhaar No: 26xxxxxxxx1660, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence</p>
5	<p>Mrs JAYA KEDIA Wife of Mr BIKASH KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.:: CLxxxxx2Q, Aadhaar No: 87xxxxxxxx7347, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence</p>

BIKASH KEDIA

ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 , PAN No.:: AAxxxxxx3Q,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative

BIBEK KEDIA

ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321 , PAN No.:: AAxxxxxx5F,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative

PARMESHWAR LAL SATNALIKA

SOSTIGORIA, City:- , P.O:- RANIGANJ, P.S:-Raniganj, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713347 , PAN No.:: AAxxxxxx3A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative, Executed by: Representative

Mr VIKASH SATNALIKA

Son of Late PARMESHWAR LAL SATNALIKA 15, R.R. ROAD BYE LANE, BEHIND SOSTIGORIA PARK, City:- Raniganj, P.O:- RANIGANJ, P.S:-Raniganj, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713347 Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, PAN No.:: ANxxxxxx9K, Aadhaar No: 42xxxxxxx9008, Status :Individual, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence, Executed by: Self, Date of Execution: 18/09/2021 , Admitted by: Self, Date of Admission: 18/09/2021 ,Place : Pvt. Residence

Developer Details :

SI No	Name,Address,Photo,Finger print and Signature
1	N N CONSTRUCTION BALAKA PARK, BIDHANNAGAR, City:- Durgapur, P.O:- DURGAPUR, P.S:-New Township, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713206 , PAN No.:: ADxxxxxx8M,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature
1	Mr BIKASH KEDIA Son of Late SOMDEO KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: ALxxxxxx4B, Aadhaar No: 26xxxxxxx1660 Status : Representative, Representative of : BIKASH KEDIA (as KARTA)
2	Mr BIBEK KUMAR KEDIA Son of Late SOMDEO KEDIA ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AJxxxxxx9D, Aadhaar No: 75xxxxxxx5838 Status : Representative, Representative of : BIBEK KEDIA (as KARTA)
3	Mr NAWIN SATNALIKA Son of Late PARMESHWAR LAL SATNALIKA SASTIGORIA, City:- Raniganj, P.O:- RANIGANJ, P.S:-Raniganj, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713347, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: ANxxxxxx3B, Aadhaar No: 62xxxxxxx8130 Status : Representative, Representative of : PARMESHWAR LAL SATNALIKA (as KARTA)
4	Mr BIKRAM HAZRA Son of Mr NIRAD BARAN HAZRA OCD-2, NORTH JN AVENUE, City:- , P.O:- AMRABATI, P.S:-New Township, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713206, Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, , PAN No.:: ADxxxxxx8M,Aadhaar No Not Provided by UIDAI Status : Representative, Representative of : N N CONSTRUCTION (as PROPRIETOR)

Identifier Details :

Name	Photo	Finger Print	Signature
Mr Debnandan Chatterjee Son of Narayan Chatterjee Gopalmath, City:- , P.O:- Gopalmath, P.S:-Durgapur, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713217			

Identifier Of Mr BIBEK KUMAR KEDIA, Mrs JYOTI KEDIA, Mr NAWIN SATNALIKA, Mr BIKASH KEDIA, Mrs JAYA KEDIA, Mr VIKASH SATNALIKA, Mr BIKASH KEDIA, Mr BIBEK KUMAR KEDIA, Mr NAWIN SATNALIKA, Mr BIKRAM HAZRA

Transfer of property for L1		
Sl.No	From	To. with area (Name-Area)
1	Mr BIBEK KUMAR KEDIA	N N CONSTRUCTION-2 Dec
Transfer of property for L2		
Sl.No	From	To. with area (Name-Area)
1	Mrs JYOTI KEDIA	N N CONSTRUCTION-1.3 Dec
Transfer of property for L3		
Sl.No	From	To. with area (Name-Area)
1	Mr NAWIN SATNALIKA	N N CONSTRUCTION-11 Dec
Transfer of property for L4		
Sl.No	From	To. with area (Name-Area)
1	Mr BIKASH KEDIA	N N CONSTRUCTION-3 Dec
Transfer of property for L5		
Sl.No	From	To. with area (Name-Area)
1	Mrs JAYA KEDIA	N N CONSTRUCTION-3.3 Dec
Transfer of property for L6		
Sl.No	From	To. with area (Name-Area)
1	BIKASH KEDIA	N N CONSTRUCTION-10 Dec
Transfer of property for L7		
Sl.No	From	To. with area (Name-Area)
1	BIBEK KEDIA	N N CONSTRUCTION-9 Dec
Transfer of property for L8		
Sl.No	From	To. with area (Name-Area)
1	PARMESHWAR LAL SATNALIKA	N N CONSTRUCTION-10 Dec
Transfer of property for L9		
Sl.No	From	To. with area (Name-Area)
1	Mr VIKASH SATNALIKA	N N CONSTRUCTION-9.45 Dec

Details as per Land Record

Block: Paschim Bardhaman, P.S:- Andar, Gram Panchayat: ANDAL, Mouza: Bhadur, JI No: 42, Pin Code : 713321

Sl. No	Plot & Khatian Number	Details Of Land	Owner name in English as selected by Applicant
L1	LR Plot No:- 1054, LR Khatian No:- 2616		Seller is not the recorded Owner as per Applicant.
L2	LR Plot No:- 1054, LR Khatian No:- 2617		Seller is not the recorded Owner as per Applicant.
L3	LR Plot No:- 1054, LR Khatian No:- 2489		Seller is not the recorded Owner as per Applicant.
L4	LR Plot No:- 1054, LR Khatian No:- 2620		Seller is not the recorded Owner as per Applicant.
L5	LR Plot No:- 1054, LR Khatian No:- 2619		Seller is not the recorded Owner as per Applicant.
L6	LR Plot No:- 1054, LR Khatian No:- 2762		Seller is not the recorded Owner as per Applicant.
L7	LR Plot No:- 1054, LR Khatian No:- 2763		Seller is not the recorded Owner as per Applicant.
L8	LR Plot No:- 1054, LR Khatian No:- 2490		Seller is not the recorded Owner as per Applicant.
L9	LR Plot No:- 1054, LR Khatian No:- 2618		Seller is not the recorded Owner as per Applicant.

18-09-2021

presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 19:30 hrs on 18-09-2021, at the Private residence by Mr BIKASH KEDIA , one of the Executants.

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 1,45,57,133/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 18/09/2021 by 1. Mr BIBEK KUMAR KEDIA, Son of Late SOMDEO KEDIA, ANDAL KABIRAJ GALI, UTTAR BAZAR, P.O: ANDAL, Thana: Andol, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713321, by caste Hindu, by Profession Business, 2. Mrs JYOTI KEDIA, Wife of Mr BIBEK KUMAR KEDIA, ANDAL KABIRAJ GALI, UTTAR BAZAR, P.O: ANDAL, Thana: Andol, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713321, by caste Hindu, by Profession House wife, 3. Mr NAWIN SATNALIKA, Son of Late PARMESHWAR LAL SATNALIKA, SOSTIGORIA, P.O: RANIGANJ, Thana: Raniganj, , City/Town: RANIGANJ, Paschim Bardhaman, WEST BENGAL, India, PIN - 713347, by caste Hindu, by Profession Business, 4. Mr BIKASH KEDIA, Son of Late SOMDEO KEDIA, ANDAL KABIRAJ GALI, UTTAR BAZAR, P.O: ANDAL, Thana: Andol, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713321, by caste Hindu, by Profession Business, 5. Mrs JAYA KEDIA, Wife of Mr BIKASH KEDIA, ANDAL KABIRAJ GALI, UTTAR BAZAR, P.O: ANDAL, Thana: Andol, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713321, by caste Hindu, by Profession House wife, 6. Mr VIKASH SATNALIKA, Son of Late PARMESHWAR LAL SATNALIKA, 15, R.R. ROAD BYE LANE, BEHIND SOSTIGORIA PARK, P.O: RANIGANJ, Thana: Raniganj, , City/Town: RANIGANJ, Paschim Bardhaman, WEST BENGAL, India, PIN - 713347, by caste Hindu, by Profession Business

Indetified by Mr Debnandan Chatterjee, , , Son of Narayan Chatterjee, Gopalmath, P.O: Gopalmath, Thana: Durgapur, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713217, by caste Hindu, by profession Others

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 18-09-2021 by Mr BIKASH KEDIA, KARTA, BIKASH KEDIA (HUF), ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321

Indetified by Mr Debnandan Chatterjee, , , Son of Narayan Chatterjee, Gopalmath, P.O: Gopalmath, Thana: Durgapur, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713217, by caste Hindu, by profession Others

Execution is admitted on 18-09-2021 by Mr BIBEK KUMAR KEDIA, KARTA, BIBEK KEDIA (HUF), ANDAL KABIRAJ GALI, UTTAR BAZAR, City:- , P.O:- ANDAL, P.S:-Andal, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713321

Indetified by Mr Debnandan Chatterjee, , , Son of Narayan Chatterjee, Gopalmath, P.O: Gopalmath, Thana: Durgapur, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713217, by caste Hindu, by profession Others

Execution is admitted on 18-09-2021 by Mr NAWIN SATNALIKA, KARTA, PARMESHWAR LAL SATNALIKA (HUF), SOSTIGORIA, City:- , P.O:- RANIGANJ, P.S:-Raniganj, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713347

Indetified by Mr Debnandan Chatterjee, , , Son of Narayan Chatterjee, Gopalmath, P.O: Gopalmath, Thana: Durgapur, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713217, by caste Hindu, by profession Others

Execution is admitted on 18-09-2021 by Mr BIKRAM HAZRA, PROPRIETOR, N N CONSTRUCTION, BALAKA PARK, BIDHANNAGAR, City:- Durgapur, P.O:- DURGAPUR, P.S:-New Township, District:-Paschim Bardhaman, West Bengal, India, PIN:- 713206

Indetified by Mr Debnandan Chatterjee, , , Son of Narayan Chatterjee, Gopalmath, P.O: Gopalmath, Thana: Durgapur, , Paschim Bardhaman, WEST BENGAL, India, PIN - 713217, by caste Hindu, by profession Others



AVIJIT SIKDAR

ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. RANIGANJ
Paschim Bardhaman, West Bengal

25-09-2021

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 5,014/- (B = Rs 5,000/- ,E = Rs 14/-) and Registration Fees paid by Cash Rs 0/-, by online = Rs 5,014/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 18/09/2021 1:00PM with Govt. Ref. No: 192021220080920411 on 18-09-2021, Amount Rs: 5,014/-, Bank: HDFC Bank (HDFC0000014), Ref. No. 1562832719 on 18-09-2021, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 20,011/- and Stamp Duty paid by Stamp Rs 5,000/-, by online = Rs 15,011/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 3218, Amount: Rs.5,000/-, Date of Purchase: 06/09/2021, Vendor name: Ajoy Kumar Chand

2. Stamp: Type: Court Fees, Amount: Rs.10/-

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 18/09/2021 1:00PM with Govt. Ref. No: 192021220080920411 on 18-09-2021, Amount Rs: 15,011/-, Bank: HDFC Bank (HDFC0000014), Ref. No. 1562832719 on 18-09-2021, Head of Account 0030-02-103-003-02



AVIJIT SIKDAR
ADDITIONAL DISTRICT SUB-REGISTRAR
OFFICE OF THE A.D.S.R. RANIGANJ
Paschim Bardhaman, West Bengal

